

# DEVELOPMENT REVIEW BOARD REPORT



MEETING DATE: December 15, 2005

ITEM NO. 5

CASE NUMBER/ PROJECT NAME	<b>85-DR-2005</b> <b>Pacific Realty Advisors</b>		
LOCATION	4238 N. Craftsman Court		
REQUEST	Request approval of a site plan and elevations to replace an existing building with a new building.		
OWNER	Pacific Realty Advisors 602-224-8085	ENGINEER	Morea-Hall Engineering, Inc. 602-258-4428
ARCHITECT/ DESIGNER	Sam J West, Architect 480 994-5728	APPLICANT/ COORDINATOR	Sam J. West, Architect 480-994-5728
BACKGROUND	<b>Zoning.</b> The site is zoned Central Business District, Downtown Overlay (C-2, DO), which allows for mixed-use projects consisting of retail, restaurant, personal services, and office.		

## **Context.**

The site is located in the core of the Downtown within the Marshall Way-Craftsman Court District. The Marshall Way-Craftsman Court District contains a mix of specialty retail, restaurant, small office, gallery and personal service land uses. The area consists of one-and two-story buildings constructed to the front of the property lines thus creating an active street front of continuous shops and frequent building entrances. This particular site is located mid-block on the west side of Craftsman Court between East Fifth Avenue to the north and East Third Avenue to the south, west of Scottsdale Road. Currently, the existing building is vacant of any tenants. The project is surrounded by the following uses:

- North: (4242 North Craftsman Court) A two-story building, zoned Central Business District, Downtown Overlay, with a retail use on the first floor and office use on the second floor.
- South: (4234 North Craftsman Court) A two-story office building zoned Central Business District, Downtown Overlay.
- East: (4237 North Craftsman Court) A two-story office building zoned Downtown/Retail/Specialty-Type 1, Downtown Overlay.
- West: (4235 North Marshall Way) A public alley separates the subject property from the property to the west which is a two-story building, zoned Downtown/Retail/Specialty-Type 1, Downtown Overlay, with a gallery use on the first floor, and office on the second floor.

APPLICANT'S  
PROPOSAL**Applicant's Request.**

The applicant requests approval of a site plan and elevations to raze the existing vacant building at 4238 North Craftsman Court and build a new two-story mixed-use building on the site. Proposed land uses include a gallery on the ground level and office on the second level fronting Craftsman Court with an enclosed parking garage on the western portion of the property, which is accessed from the public alleyway to the west.

**Development Information:**

- Existing Use: A vacant, two-story commercial building
- Proposed Use: Two-story, mixed-use (gallery/office)
- Parcel Size: .08 Acre
- Building Size: N/A
- Building Height Allowed: 36 Feet
- Building Height Proposed: 35 Feet 9 Inches
- Parking Required: N/A
- Parking Provided: N/A
- Open Space Required: None required
- Open Space Provided: None provided
- FAR Allowed: 1.30 FAR allowed
- FAR Proposed: 1.28 FAR proposed

## DISCUSSION

The approximate .08-acre site is located mid-block on the west side of Craftsman Court between Third Avenue and Fifth Avenue, west of Scottsdale Road. The construction of the Craftsman Court District has evolved over time thus culminating in the mix of eclectic architectural styles and construction materials that comprise the one and two-story buildings existing in the district today.

The proposal includes razing an existing two-story commercial building and replacing it with new construction of a two-story commercial building that will include a gallery use on the first floor and office on the second floor. An enclosed parking garage is also proposed at the west end of the property with access off of the public alleyway. The second story office façade fronting Craftsman Court includes a balcony extension over the public sidewalk right-of-way.

## KEY ISSUES

**Key Issues***Front Building Setback*

The minimum front building setback required in the Downtown Overlay is sixteen (16) feet from planned curb. The proposed wing walls of the project are setback at ten (10) feet from planned curb and the building is setback fourteen (14) feet from planned curb. The Downtown Overlay also states that where existing setbacks on forty (40) percent or more of a block face in downtown are less than the specified setback, the required setback on a site to be developed shall be the average setback of the developed portion of the block face. Consequently, the proposed setbacks for both the wing walls and building location are appropriate given the Craftsman Court block face the project is slated for.

*Parking*

Under the Downtown Overlay District, if there is no change of intensity of use on any lot that has a legal use existing, no additional parking shall be required for the use. Since the proposed project is replacing a two-story commercial building with new construction of the same and there is no increase in the intensity of the land uses, the proposed project is considered whole with regard to the required parking for the project.

*Building Design*

Overall, the building design is in conformance with the Downtown Urban Design and Architectural Guidelines. However, the design guidelines discourage floor to ceiling glass storefronts. The addition of a low wainscot or a pronounced window-sill/ledge to the eastern façade is encouraged.

The proposed building includes the following materials and finish schedule as illustrated on the primary elevations sheet dated December 7, 2005 and described herein.

The north and south facades will be constructed of CMU firewalls comprised of Superlite Block in charcoal color.

The east elevation along Craftsman Court is comprised of the following:

- Roof: Exposed sloping metal roof in Sherwin Williams Heart Throb Red
- Second Story: Sliding clear E-glass doors encased in an anodized bronze metal fascia and a balcony complete with red laminated glass with matt finish facing and a brushed aluminum balcony handrail.
- Ground Level: Floor to ceiling clear E-glass storefront encased in an anodized bronze aluminum

The west elevation fronting the public alley includes the following:

- Roof: Exposed sloping metal roof in Sherwin Williams Heart Throb Red
- Second Story: Sliding clear E-glass doors encased in an anodized bronze metal fascia underscored by a metal fascia to match roof color.
- Ground Level: A metal overhead garage door with metal trim to match that of other metal trim proposed for the east elevation.

*Balcony*

Typically, the Downtown Design and Architectural Guidelines encourage the traditional covered arcade, one that projects over the building's first floor and is supported by vertical columns. The downtown guidelines do allow for exceptions to traditional arcade design when it is reasonable to do so. Given the existing constrained pedestrian walkway area in front of the proposed project, the proposed balcony design, which is absent vertical supports, is acceptable. An encroachment permit will be required for the balcony per the attached stipulations.

**OTHER BOARDS AND  
COMMISSIONS**

The Development Review Board's action is final on this matter, unless a timely appeal is filed with the City Clerk of the City of Scottsdale.

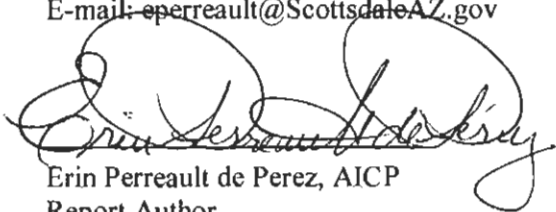
**STAFF  
RECOMMENDATION**

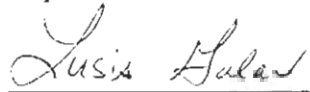
Staff recommends approval, subject to the attached stipulations.

**STAFF CONTACT(S)**

Erin Perreault de Perez, AICP  
Senior Planner  
Phone: 480-312-7093  
E-mail: ~~eperreault~~@ScottsdaleAZ.gov

**APPROVED BY**

  
Erin Perreault de Perez, AICP  
Report Author

  
Lusia Galav, AICP  
Current Planning Director  
Phone: 480-312-2506  
E-mail: lgalav@scottsdaleAZ.gov

**ATTACHMENTS**

1. Applicant's Narrative
2. Context Aerial
- 2A. Aerial Close-Up
3. Zoning Map
4. Site Plan
5. Color Elevations
6. Black & White Elevations
- A. Fire Ordinance Requirements
- B. Stipulations/Zoning Ordinance Requirements



85-DR-2005  
10/04/05

# Pre-Application Questionnaire

## Project Narrative

Date: September 27, 2005

Project No.: 478 - PA - 2005

Coordinator: ERIN PERREault DE PIERRE Cost Center (COS Projects Only): \_\_\_\_\_

### Provide a detailed descriptive narrative of the site layout.

- Describe the site circulation, parking and design, drainage, architecture, and proposed land use.
- What improvements and uses currently exist on the property?
- Explain how your proposal is compatible with the surrounding area.
- Are there any unusual characteristics that may restrict or affect your development?

Target Date to Begin Construction: November 15, 2005

Please type or print narrative in the space below. Provide as much detail as possible; use a separate sheet if necessary.

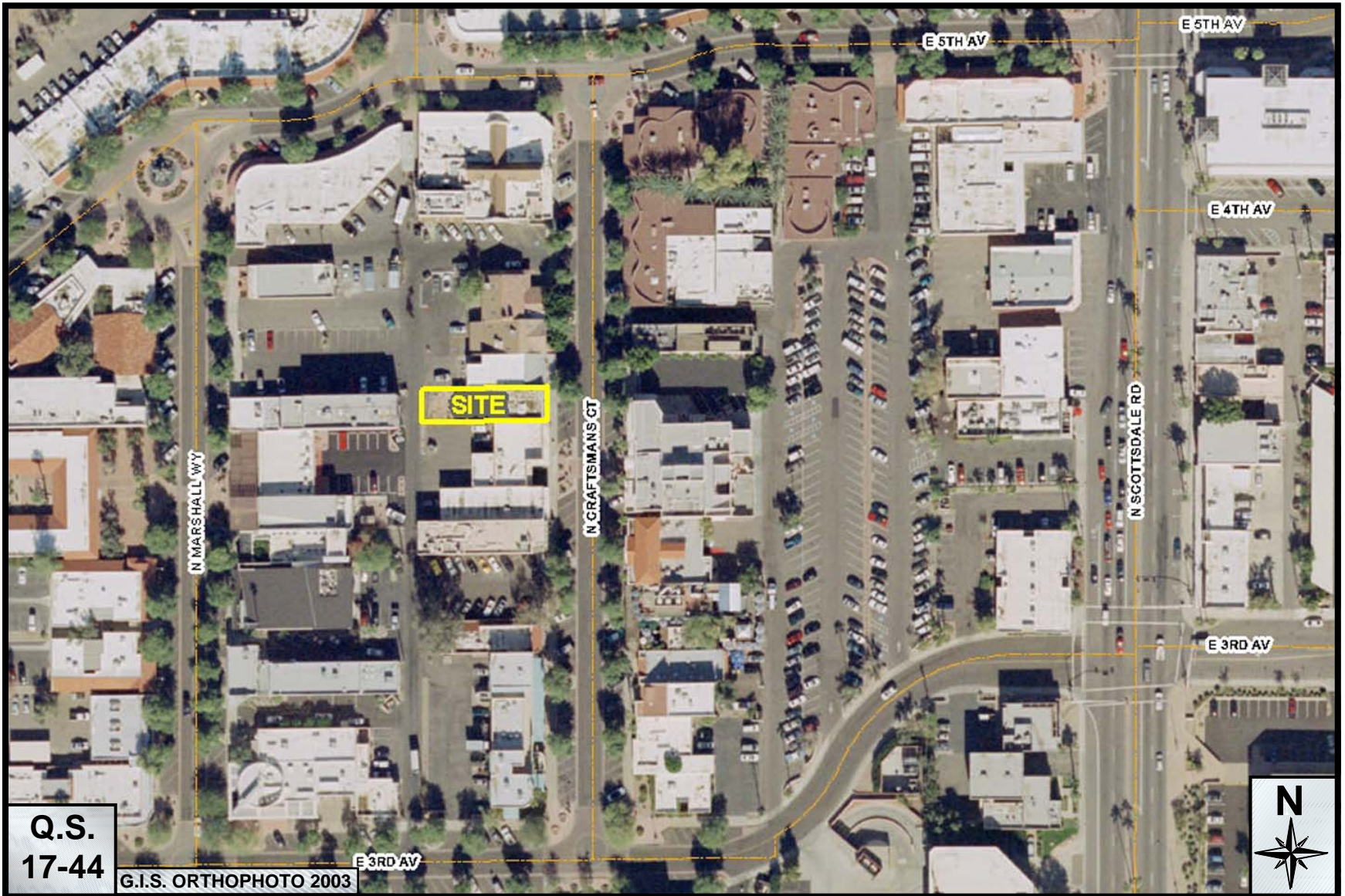
The proposed project is to replace an existing nonfunctional two story cmu building with a new two story building. The proposed uses are for retail on the first floor and offices on the second floor.

The look of the new building will create a more attractive look for this portion of Craftman Court. The project will remove incomplete demolition, weeds and the blum feeling of the existing building.

The Owners will occupy the second floor.

### Planning and Development Services Department

7447 E Indian School Road, Suite 105, Scottsdale, AZ 85251 • Phone: 480-312-7000 • Fax: 480-312-7088



Q.S.  
17-44

G.I.S. ORTHOPHOTO 2003

**85-DR-2005**

ATTACHMENT #2

**Pacific Realty Advisors**





Q.S.  
17-44

G.I.S. ORTHOPHOTO 2003

**85-DR-2005**

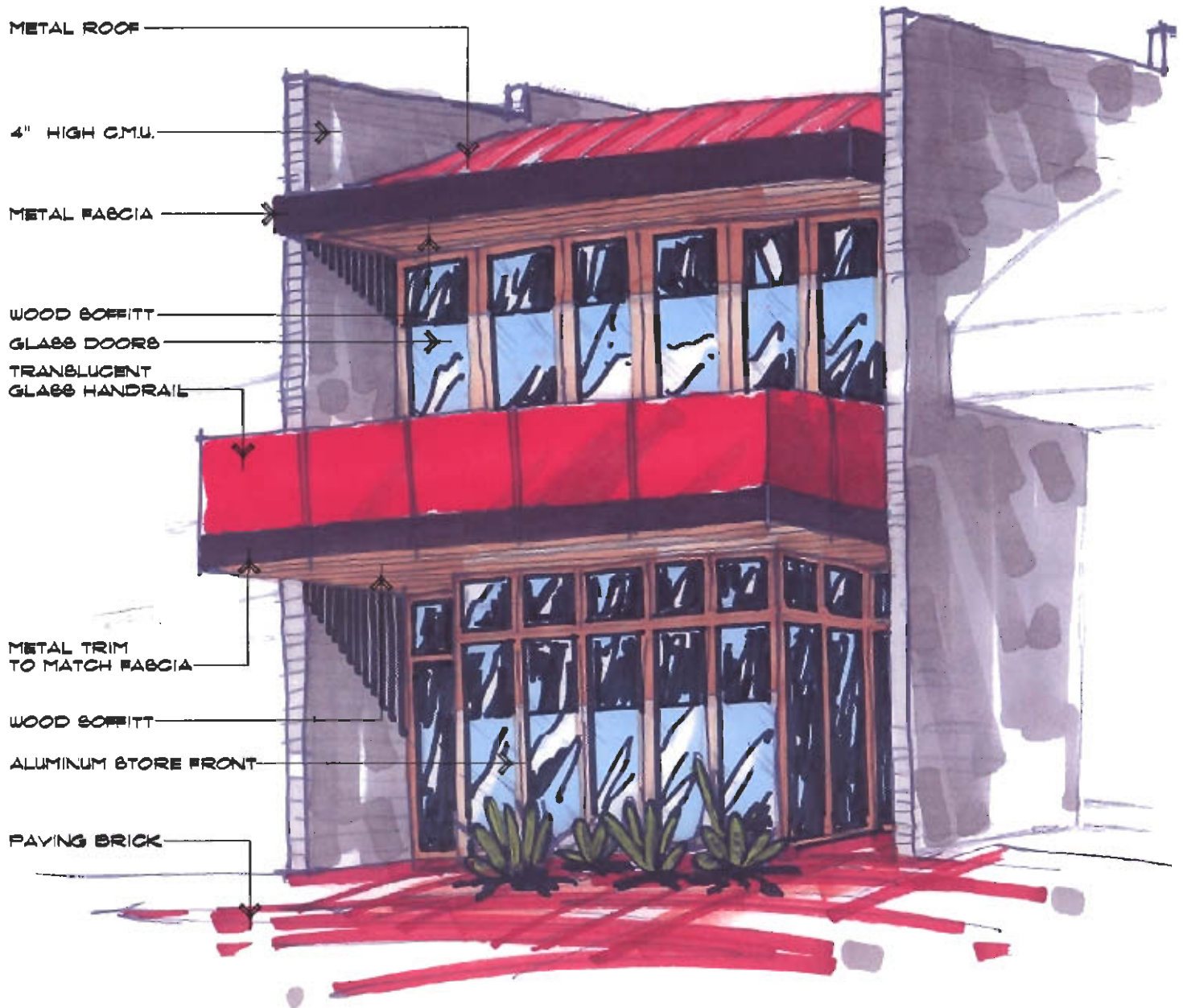
ATTACHMENT #2A

**Pacific Realty Advisors**





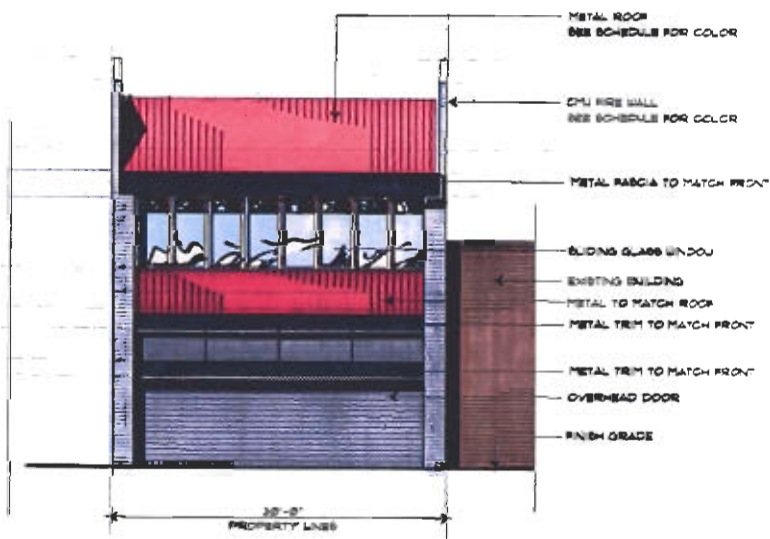




PRELIMINARY STREET ELEVATION SKETCH  
PACIFIC REALTY ADVISORS

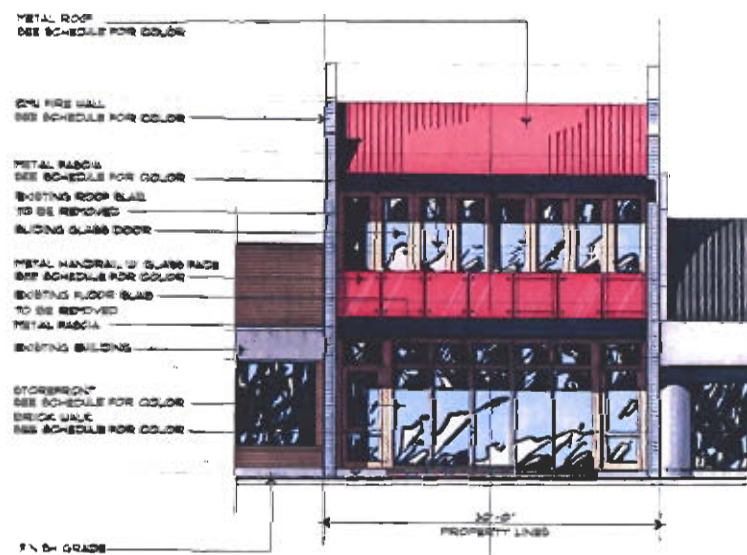
85-DR-2005  
REV: 11/07/2005





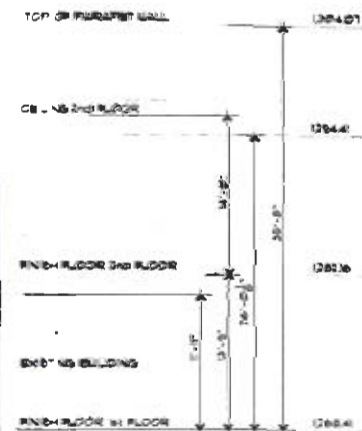
PRELIMINARY WEST ELEVATION

SCALE 1/8" = 1'-0"



PRELIMINARY EAST ELEVATION

SCALE 1/8" = 1'-0"



NEW BUILDINGS FOR

**PACIFIC REALTY ADVISORS**

4320 NORTH CRAFTSMAN COURT,

SCOTTSDALE, ARIZONA



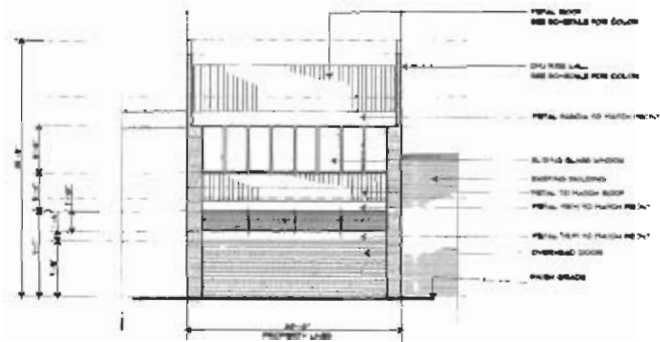
B.J.M. BARRY J. MURPHY III, ARCHITECT AIA  
ARCHITECTURE AND PLANNING  
880 NORTH HAYDEN ROAD, SUITE 200  
SCOTTSDALE, ARIZONA 85258

PH: 480.954.3770  
FAX: 480.954.3770

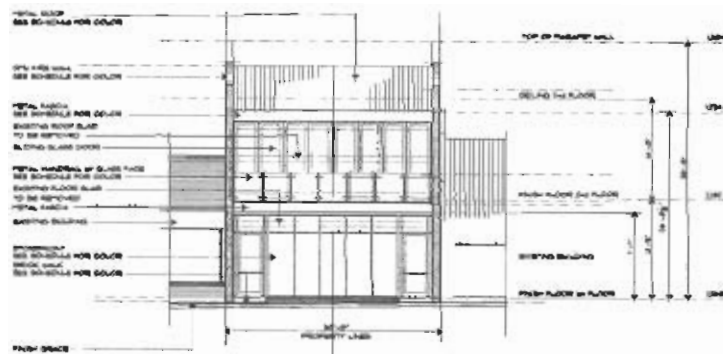
PRELIMINARY  
ELEVATIONS

85-DR-2005

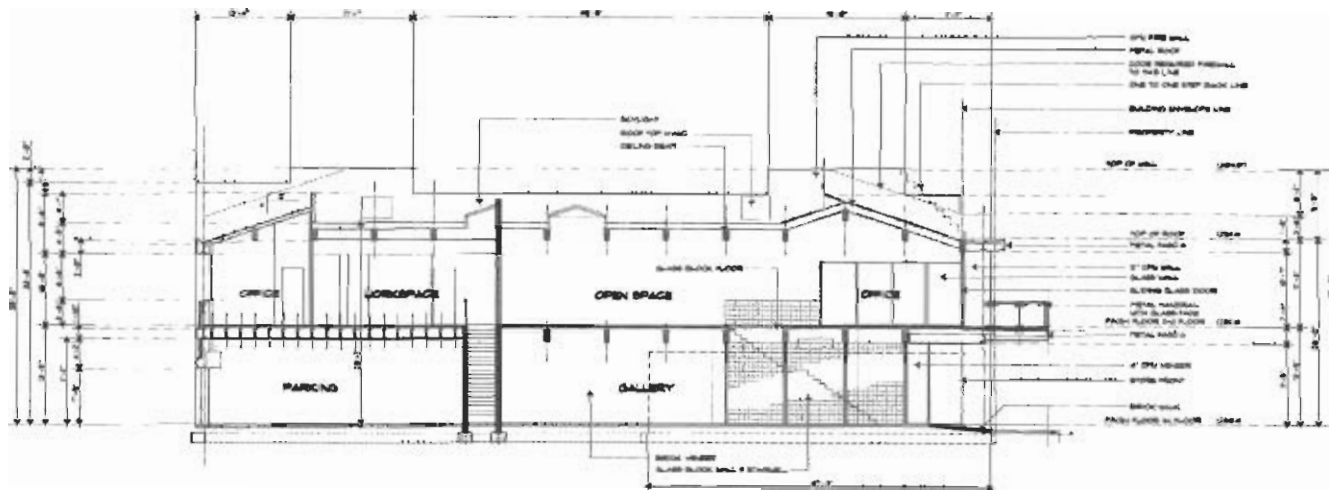
12/07/05



PRELIMINARY WEST ELEVATION  
SCALE: 1/8" = 1'-0"



PRELIMINARY EAST ELEVATION  
SCALE: 1/8" = 1'-0"



PRELIMINARY BUILDING SECTION LOOKING NORTH  
SCALE: 1/8" = 1'-0"

85-DR-2005  
REV: 11/17/2005

PRELIMINARY PLANS  
NOT FOR CONSTRUCTION

<p>PROJECT: 85-DR-2005</p> <p>DATE: 11/17/2005</p> <p>BY: [Signature]</p> <p>CHECKED: [Signature]</p>	<p>PRELIMINARY ELEVATIONS AND BUILDING SECTION</p>	<p>PACIFIC REALTY ADVISORS</p> <p>1000 - 1000 - 1000</p> <p>1000 - 1000 - 1000</p>	<p>11/17/2005</p> <p>11/17/2005</p>
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**Pacific Realty Advisors**  
**4238 N. Craftsman Court**  
**Scottsdale, Arizona**

## FIRE ORDINANCE REQUIREMENTS

(INCORPORATE INTO BUILDING PLANS AS GENERAL NOTE BLOCK - USE ONLY THE DESIGNATED STIPULATIONS)

- |  |   |
|--|---|
| <p><input checked="" type="checkbox"/> 1. PREMISES IDENTIFICATION TO BE LEGIBLE FROM STREET OR DRIVE &amp; MUST BE ON ALL PLANS.</p> <p><input type="checkbox"/> 2. FIRE LANES &amp; EMERGENCY ACCESS SHALL BE PROVIDED &amp; MARKED IN COMPLIANCE WITH CITY ORDINANCE &amp; IFC AT THE FOLLOWING LOCATIONS.</p> <p>_____</p> <p>_____</p> <p>_____</p> <p><input checked="" type="checkbox"/> 3. IT IS THE DEVELOPERS RESPONSIBILITY TO DETERMINE ULTIMATE COMPLIANCE WITH THE FAIR HOUSING ADMMENDMENTS ACT &amp; AMERICANS WITH DISABILITIES ACT &amp; INCORPORATE SAME INTO THEIR BUILDING PLANS.</p> <p><input type="checkbox"/> 4. SUBMIT PLANS &amp; SPECS FOR SUPERVISED AUTOMATIC EXTINGUISHING SYSTEM FOR ALL COOKING APPLIANCES, HOOD PLENUMS &amp; EXHAUST DUCTS.</p> <p><input checked="" type="checkbox"/> 5. PROVIDE A KNOX ACCESS SYSTEM:</p> <p style="margin-left: 20px;"><input checked="" type="checkbox"/> A. KNOX BOX</p> <p style="margin-left: 20px;"><input type="checkbox"/> B. PADLOCK</p> <p style="margin-left: 20px;"><input type="checkbox"/> C. KNOX OVERRIDE &amp; PRE-EMPTION STROBE SWITCH FOR AUTOMATIC GATES.</p> <p><input checked="" type="checkbox"/> 6. INSTALL AN AS BUILT DRAWING CABINET ADJACENT TO THE FIRE SPRINKLER RISER. IT SHALL BE OF ADEQUATE SIZE TO ACCOMMODATE BOTH THE FIRE SPRINKLER &amp; FIRE ALARM DRAWINGS. THE CABINET SHALL BE PROVIDED WITH A LOCK &amp; KEYED TO MATCH THE FIRE ALARM CONTROL PANEL &amp; SUPERVISED BY THE FACP IF APPLICABLE.</p> <p><input type="checkbox"/> 7. SUBMIT PLANS FOR A CLASS _____ FIRE ALARM SYSTEM PER SCOTTSDALE REVISED CODES.</p> <p><input checked="" type="checkbox"/> 8. PROVIDE INTERIOR TENANT NOTIFICATION WHEN OFF-SITE MONITORING IS REQUIRED.<br/> <small>(SEE FIRE ALARM INTERPRETATIONS FOR CLARIFICATION)</small></p> <p><input type="checkbox"/> 9. ADD 2-1/2" WET FIRE HOSE VALVES (NSHT) IF FLOOR AREA EXCEEDS 10,000 SQ. FT. PER FLOOR LEVEL AND/OR IF FIRE DEPT. ACCESS IS LIMITED TO LESS THAN 360°. _____</p> <p><input type="checkbox"/> 10. BUILDINGS MAY BE SUBJECT TO INSTALLATION AND TESTING REQUIREMENTS FOR A PUBLIC SAFETY RADIO AMPLIFICATION SYSTEM.</p> | <p><input checked="" type="checkbox"/> 11. BACKFLOW PREVENTION WILL BE REQUIRED ON VERTICAL RISER FOR CLASS 1 &amp; 2 FIRE SPRINKLER SYSTEMS PER SCOTTSDALE REVISED CODE.</p> <p><input checked="" type="checkbox"/> 12. PROVIDE ALL WEATHER ACCESS ROAD (MIN. 16") TO ALL BUILDINGS &amp; HYDRANTS FROM PUBLIC WAY DURING CONSTRUCTION.</p> <p><input checked="" type="checkbox"/> 13. SEE APPROVED CIVILS FOR THE NUMBER OF FIRE HYDRANTS REQUIRED. DEVELOPER SHALL HAVE THE REQUIRED HYDRANTS INSTALLED &amp; OPERABLE PRIOR TO THE FOOTING INSPECTION. HYDRANTS SHALL BE SPACED AT A MAXIMUM OF _____ GPM. THE DEVELOPER SHALL MAKE THE C.O.S. APPROVED CIVIL WATER PLANS AVAILABLE TO THE FIRE SPRINKLER CONTRACTOR.</p> <p><input checked="" type="checkbox"/> 14. PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED. SEE SHEET(S) _____</p> <p><input checked="" type="checkbox"/> 15. EXIT &amp; EMERGENCY LIGHTING SHALL COMPLY WITH THE C.O.S. ORDINANCE &amp; THE IFC. SEE SHEETS _____</p> <p><input checked="" type="checkbox"/> 16. SUBMIT MSDS SHEETS &amp; AGGREGATE QUANTITY FOR ALL HAZARDOUS MATERIALS INCLUDING FLAMMABLES, PESTICIDES, HERBICIDES, CORROSIVES, OXIDIZERS, ETC. A PERMIT IS REQUIRED FOR ANY AMOUNT OF HAZARDOUS MATERIALS STORED, DISPENSED, USED OR HANDLED. COMPLETE AN HMMP &amp; SUBMIT WITH THE BUILDING PLANS.</p> <p><input checked="" type="checkbox"/> 17. FIRELINE, SPRINKLER &amp; STANDPIPE SYSTEM SHALL BE FLUSHED &amp; PRESSURE TESTED PER NFPA STANDARDS &amp; SCOTTSDALE REVISED CODES.</p> <p><input checked="" type="checkbox"/> 18. FDC SIAMESE CONNECTIONS FOR SPRINKLERS AND/OR STANDPIPES WILL BE LOCATED PER ORDINANCE AND/OR AT AN APPROVED LOCATION. MINIMUM SIZE 2-1/2 x 2-1/2 x _____ (NSHT)</p> <p style="margin-left: 20px;"><input checked="" type="checkbox"/> 4' TO 8' BACK OF CURB; INDEP. WET LINE.</p> <p style="margin-left: 20px;"><input checked="" type="checkbox"/> WALL MOUNTED - 15' CLEAR OF OPENINGS.</p> <p><input checked="" type="checkbox"/> 19. ADEQUATE CLEARANCE SHALL BE PROVIDED AROUND FIRE RISER. DIMENSIONS FROM FACE OF PIPE SHALL MEASURE A MINIMUM OF 12" OFF THE BACK OF WALL, 18" ON EACH SIDE &amp; 36" CLEAR IN FRONT WITH A FULL HEIGHT DOOR. THE FIRE LINE SHALL EXTEND A MAXIMUM OF 3' INTO THE BUILDING FROM INSIDE FACE OF WALL TO CENTER OF PIPE.</p> |
|--|---|

20. ☒ **SPRINKLER SYSTEM SHALL BE INSTALLED TO COMPLY WITH MINIMUM NFPA CRITERIA 2002 EDITION & SCOTTSDALE REVISED CODES. SYSTEMS WITH 100 HEADS OR MORE SHALL HAVE OFF-SITE MONITORING. AFTER BUILDING PLAN REVIEW, INSTALLING CONTRACTOR SHALL SUBMIT (3) THREE COMPLETE SETS OF DRAWINGS & HYDRAULIC CALCULATIONS REVIEWED BY A MINIMUM NICET III DESIGN TECHNICIAN.**
- ☐ **A. MODIFIED NFPA 13-D SYSTEM WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS (2002 EDITION)**
- ☐ **B. MODIFIED NFPA 13R SYSTEM (2002 EDITION) WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS IN DWELLING UNITS & ATTIC AREAS FED FROM SEPARATE FIRELINE PER C.O.S. ORDINANCE & INTERPRETATIONS & APPLICATIONS. CALCULATE UP TO FOUR REMOTE HEADS & 900 SQ FT MIN. IN ATTIC.**
- ☒ **C. NFPA 13 2002 EDITION COMMERCIAL SYSTEM / DESIGN CRITERIA: 0.1/1500 SEISMIC DESIGN CATEGORY SHALL BE DETERMINED BY STRUCTURAL ENGINEER.**
- ☐ **D. THE FIRE SPRINKLER SYSTEM DESIGN FOR WAREHOUSE / STORAGE OCCUPANCIES SHALL BE BASED ON THE FULL HEIGHT CAPACITY OF THE BUILDING PER SCOTTSDALE REVISED CODE. DENSITY CRITERIA:**
- ☐ **E. SPRINKLER DESIGN CRITERIA FOR UNSPECIFIED WAREHOUSE COMMODITIES: .45 OVER 3000 SQ. FT.**
- ☐ **F. THE PROJECT SPECIFICATIONS SHALL BE SUBMITTED WITH CONTRACT DRAWINGS.**

Submit three (3) complete sets of drawings submitted by installing contractor, after building plan review is complete. Please refer questions to Fire Dept. Plan Review, 312-7070, 312-7684, 312-7127, 312-2372.

## **Stipulations for Case: Pacific Realty Advisors Case 85-DR-2005**

Unless otherwise stated, the applicant agrees to complete all requirements prior to final plan approval, to the satisfaction of Project Coordinator and the Final Plans staff.

### **PLANNING**

#### **APPLICABLE DOCUMENTS AND PLANS:**

##### **DRB Stipulations**

1. Except as required by the City Code of Ordinances, Zoning Regulations, Subdivision Regulations, and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
  - a. Architectural elements, including dimensions, materials, form, color, and texture, shall be constructed to be consistent with the building elevations and color renderings submitted by SWJ Architecture & Planning with a staff receipt date of 11/07/2005 and 12/07/200 (color) and 11/17/2005 (black & white).
  - b. The location and configuration of all site improvements shall be constructed to be consistent with the site plan submitted by SJW Architecture & Planning with a staff receipt date of 12/07/2005.
  - c. *The building "step-back" plane shall be consistent with the building cross-sections submitted by SWJ Architecture & Planning with a staff receipt date of 11/17/2005.*

#### **ARCHITECTURAL DESIGN:**

##### **DRB Stipulations**

2. The face of the service entrance section(s) shall be flush with the building façade and painted to match the building.
3. All exterior mechanical, utility, and communications equipment shall be screened by parapet or wall that matches the architectural color and finish of the building. Wall or parapet height for roof-mounted units shall meet or exceed the height of the tallest unit. Wall height for ground-mounted units shall be a minimum of 1 foot higher than the tallest unit.
4. All exterior conduit and raceways shall be painted to match the building.
5. No exterior roof ladders shall be allowed where they are visible to the public or from an off-site location.
6. Roof drainage systems shall be interior, except that overflow scuppers are permitted. If overflow scuppers are provided, they shall be integrated with the architectural design.
7. Wall enclosures for refuse bins or trash compactors shall be constructed of materials that are compatible with the building(s) on the site in terms of color and texture.
8. Dooley wall fencing shall not be allowed.
9. All site walls shall match the architectural color, materials and finish of the building(s).
10. *Building "wing walls" shall utilize a "stair-step" design at the front and rear of the building to bring it in to compliance with the step-back requirements mandated by the Downtown Overlay, to the satisfaction of Final Plans staff.*

## **ATTACHMENT B**

11. *The floor plan(s) shall be modified to reflect a reduction of 2 feet 8 inches in depth to the overall footprint of the building to bring it into compliance with the floor area ratio requirements mandated by the Downtown Overlay, to the satisfaction of Final Plans staff.*

**Ordinance**

- A. *A minimum 2:1 inclined step-back plane shall be provided at the front of the building, starting at a point 26 feet above the front building setback line.*
- B. *The maximum floor area ratio (FAR) for this building shall not exceed 1.3 (standard .8 FAR with a maximum bonus available of .5 for retail or office space) subject to Development Review Board approval.*

**SITE DESIGN:****DRB Stipulations**

12. *The mature tree in the landscape median, located adjacent to the northeast corner of the lot, is to remain in place and shall not be disturbed by construction. If the tree is uprooted or damaged as a result of construction, the applicant shall replace tree with like size and species.*

**LANDSCAPE DESIGN:****DRB Stipulations**

13. *The site plan shall be revised to include the final landscape solution for the proposed planter area in front of the building. The applicant shall identify the proposed plant species, and if any additional improvements are proposed in the planter area, to the satisfaction of Final Plans staff.*

**EXTERIOR LIGHTING DESIGN:****DRB Stipulations**

14. All exterior luminaires shall be directed downward and away from property line except for sign lighting.
15. The individual luminaire lamp shall not exceed 250 watts.
16. The maximum height from finished graded to the bottom of the any exterior luminaire shall not exceed 20 feet.
17. Incorporate into the project's design, the following:
- Building Mounted Lighting:
- a. *All luminaires proposed for the underside of the proposed deck (balcony), shall be recessed so the light source is flush with the underside of the deck. No "drop lenses" permitted.*

**ADDITIONAL PLANNING ITEMS:****DRB Stipulations**

18. No exterior vending or display shall be allowed.
19. Flagpoles, if provided, shall be one piece, conical, and tapered.
20. Patio umbrellas shall be solid colors and shall not have any advertising in the form of signage or logos.
21. *With the Final Plans submittal, the applicant shall provide a completed Permission for Private Improvements in the Right of Way (PIR) Agreement for the balcony encroachment in the right of way.*



## **ENGINEERING**

The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all inclusive of project requirements. The developer shall submit engineering design reports and plans that demonstrate compliance with city ordinances, the Scottsdale Revised Code and the Design Standards and Policies Manual.

### **CIVIL IMPROVEMENT PLAN REQUIREMENTS:**

#### **DRB Stipulations**

22. Applicant shall schedule a pre-submittal meeting with city staff to identify and address applicable code requirements necessary for the site.

### **DRAINAGE AND FLOOD CONTROL:**

#### **DRB Stipulations**

23. A final drainage report shall be submitted that demonstrates consistency with the conceptual drainage report approved in concept by the Planning and Development Services Department.
- a. Before the approval of improvement plans by city staff, the developer shall submit two (2) hard copies and one (1) compact disc copy of the complete final drainage report and plan.
  - b. A maximum of 50% of the front open space may be used as a retention/detention basin unless approved by the Project Coordination Manager. (
    - (1) A complete Request Storm water waiver must be submitted at or prior to first submittal with approval prior to final plan approval.
24. With the final improvement plans submittal to the Plan Review and Permit Services Division, the developer shall submit an abbreviated final drainage report which will identify the method of identifying the finished floor elevation. subject to City staff approval.

### **ROADWAY, INTERSECTION, AND ACCESS DESIGN:**

#### **Streets and other related improvements:**

<b>STREET NAME</b>	<b>STREET TYPE</b>	<b>R.O.W. DEDICATION</b>	<b>ROADWAY IMPROVEMENT</b>	<b>CURB TYPE</b>	<b>BIKE PATH, SIDEWALK, TRAILS</b>
Unnamed Alley	Alley	2'	Match existing asphalt	N/A	N/A

#### **DRB Stipulations.**

25. Garage shall be setback a minimum of 2' from the property line after additional dedication, to provide adequate turning radius for vehicular movements.

### **INTERNAL CIRCULATION:**

All sidewalk improvements shall conform to appropriate A.D.A. requirements...

**EASEMENTS AND DEDICATIONS**

EASEMENT / DEDICATION	DESCRIPTION
ROW	2' alley

**DRB Stipulations**

## 26. Indemnity Agreements:

- a. When substantial improvements or landscaping are proposed within a utility easement, an indemnity agreement shall be required. The agreement shall acknowledge the right of the City to access the easement as necessary for service or emergencies without responsibility for the replacement or repair of any improvements or landscaping within the easement. Agreement shall be finalized prior to final plan approval.

**REFUSE:****DRB Stipulations**

27. Refuse enclosures shall be constructed to City of Scottsdale's standards. Details for construction of trash enclosures can be found in the City of Scottsdale Supplements to MAG Standards, standard detail

## 28. Enclosures must:

- a. Provide adequate truck turning/backing movements for a design vehicle of turning radius R (minimum) = 45 feet vehicle length of L = 40 feet.
- b. Be positioned to facilitate collection without "backtracking."
- c. Be easily accessible by a simple route.
- d. Not require backing more than 35 feet.
- e. Not be located on dead-end parking aisles.
- f. Enclosures serviced on one side of a drive must be positioned at a 30-degree angle to the centerline of the drive.

29. If individual (80-gallon) refuse containers are not planned for the development, the site's trash enclosures shall be constructed to City of Scottsdale's Refuse Enclosure detail.

30. If an approvable shared refuse agreement is not provided prior to first submittal, the applicant shall provide an enclosure per applicable city requirements.

**Ordinance**

## C. Refuse enclosures are required as follows:

- (1) Restaurants: One per restaurant
  - (2) Commercial Building Space: One for 0 to 20,000 s.f., Two for 20,001 to 40,000 s.f., Three for 40,001 to 60,000 s.f., etc.
  - (3) Apartments: One for 0 to 20 units, Two for 21 to 40 units, Three for 41 to 60 units, etc.
- For larger sites, an additional enclosure shall be required for each building space increase up to 20,000 SF, as shown above. For commercial buildings that include one or more restaurants, one refuse enclosure must be dedicated to each restaurant in addition to the number of enclosures needed based on the square footage of the commercial building, as shown above.

D. Underground vault-type containers are not allowed.

- E. Refuse collection methods, i.e., site plan circulation will be approved at final plan review.
- F. Refuse collection can be provided by the City of Scottsdale's Sanitation Division, at 480-312-5600.

### **WATER AND WASTEWATER STIPULATIONS**

The following stipulations are provided to aid the developer in submittal requirements, and are not intended to be all-inclusive of project requirements. Water and sewer lines and services shall be in compliance with City Engineering Water and Sewer Ordinance, the Scottsdale Revised Code and Sections 4 and 5 of the Design Standards and Policies Manual.

#### **WATER:**

##### **Ordinance**

- G. The water system for this project shall meet required health standards and shall have sufficient volume and pressure for domestic use and fire protection.

#### **WASTEWATER:**

##### **DRB Stipulations**

- 31. On-site sanitary sewer shall be privately owned and maintained.
- 32. (Existing water and sewer service lines to this site shall be utilized or shall be abandoned by disconnection at the main.

##### **Ordinance**

- H. Privately owned sanitary sewer shall not run parallel within the waterline easement.

### **CONSTRUCTION REQUIREMENTS**

##### **DRB Stipulations**

As-Built Plans.

- 33. City staff may at any time request the developer to submit as-built plans to the Inspection Services Division.
  - a. As-built plans shall be certified in writing by a registered professional civil engineer, using as-built data from a registered land surveyor.
  - b. As-built plans for drainage facilities and structures shall include, but are not limited to, streets, lot grading, storm drain pipe, valley gutters, curb and gutter, flood walls, culverts, inlet and outlet structures, dams, berms, lined and unlined open channels, storm water storage basins, underground storm water storage tanks, and bridges as determined by city staff.

##### **Ordinance**

- I. Section 404 permits. With the improvement plan submittal to the Plan Review and Permit Services Division, the developer's engineer must certify that it complies with, or is exempt from, Section 404 of the Clean Water Act of the United States. [Section 404 regulates the discharge of dredged or fill material into a wetland, lake, (including dry lakes), river, stream (including intermittent streams, ephemeral washes, and arroyos), or other waters of the United States.]

### **VERIFICATION OF COMPLIANCE**

##### **DRB Stipulations**

- 34. Condition for issuance of grading and drainage permit: Before the issuance of a Grading & Drainage Permit:
  - a. Provide finished floor elevation and narrative with supporting data.